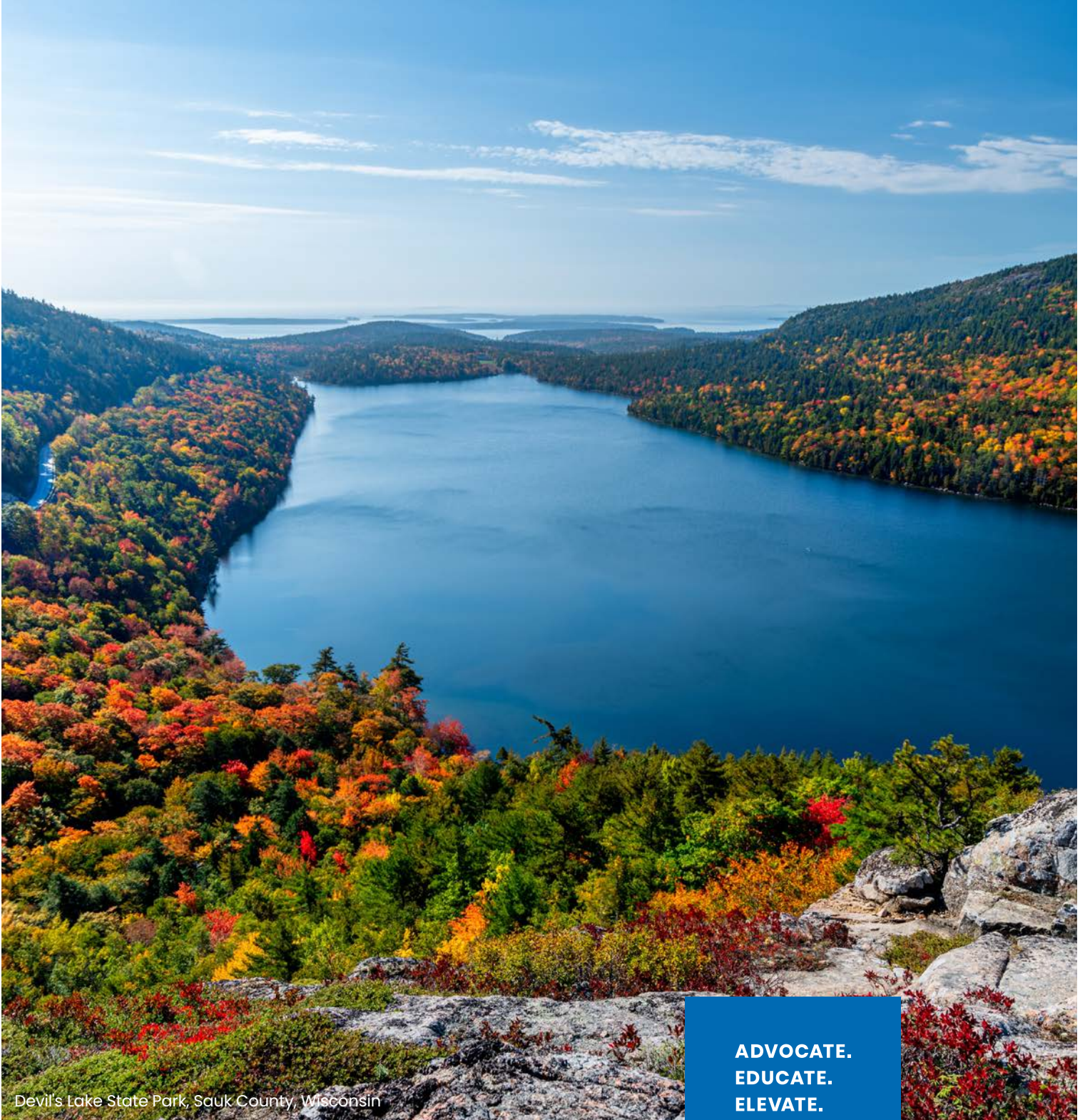




AUGUST 2025
**WISCONSIN
REAL ESTATE REPORT**



Devil's Lake State Park, Sauk County, Wisconsin

**ADVOCATE.
EDUCATE.
ELEVATE.**

August 2025 Wisconsin Real Estate Report

Wisconsin Home Sales and Median Prices Increase in August

This page: Reflecting data for August 2025. State: WI. Type: Residential.

TALKING POINTS

- Wisconsin existing home sales in August increased by a modest 1.8% relative to August 2024, and the statewide median price rose to \$338,000 over that same period, which is an annualized 5.3% increase.
- The year-to-date picture was similar, with home sales increasing 1.1% compared to the first eight months of 2024, and the median price was up 5.2% to \$325,000.
- The peak months for Wisconsin home sales are May through August, with approximately 43% of annual closings occurring during those four months in a typical year. Home sales rose 3.3% compared to the peak sales period in 2024.
- Statewide inventory improvements continued in August with total listings up 4.9% and months of supply up 5.1% over the last 12 months. Still, this remains a seller's market with 4.1 months of supply, which is below the six-month benchmark that signals a balanced housing market.
- The 30-year fixed mortgage rate remained elevated, rising 9 basis points from 6.50% in August 2024 to 6.59% in August 2025.
- Homes were on the market an average of 69 days, up 4.5% from August 2024. Regionally, there is considerable variability in both the level and annual rate of change in this measure. For example, the North region saw the average home on the market for 86 days in August, up 13.2% over the last 12 months, and the West region had 81 days on the market, up 17.4% over the past year. Other regions had lower levels and lower rates of change.
- Affordability was essentially unchanged, falling 0.1% over the last 12 months. Although statewide median family income is estimated to have grown 4.8% since August 2024, this was offset by higher sales prices and the slight increase in mortgage rates over the last year.

ADDITIONAL ANALYSIS



Smaller Towns and Rural Markets Becoming More Balanced

"The more densely populated metropolitan counties have just 3.6 months of supply. By comparison, the counties with smaller cities and towns had 4.3 months of supply, and rural counties had 5.7 months of supply in August. Potential buyers will find better opportunities in those less urban markets."

Chris DeVincentis

2025 Chair of the Board of Directors, Wisconsin REALTORS® Association



Signs of Softening Housing Markets

"Improving inventory, moderating price appreciation and increasing days on the market are signs that the strong seller's markets we've seen over the last few years continue to soften. This is welcomed news for young families still struggling to buy their first home."

Tom Larson

President & CEO, Wisconsin REALTORS® Association



Fed Rate Cuts May Lead to Lower Mortgage Rates

"Weak labor market reports resulted in a quarter-point cut in the short-term federal funds rate in September, with additional cuts likely in the last two meetings for the Fed's Federal Open Market Committee in October and December. While mortgage rates track longer-term rates, such as the 10-year treasury bill, which more closely align with the average term of a mortgage, the Fed is clearly concerned about recession, which can drive down treasury bill yields and lead to lower mortgage rates."

Dave Clark

Professor Emeritus of Economics and WRA Consultant



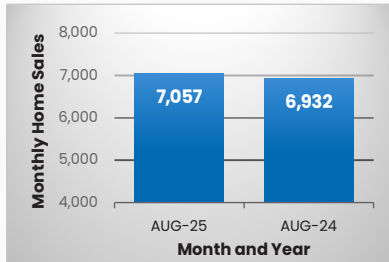
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MONTHLY HOME SALES



August 2025
7,057

August 2024
6,932

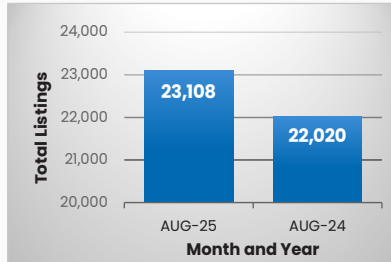
from last year



1.8%



TOTAL STATEWIDE LISTINGS



August 2025
23,108

August 2024
22,020

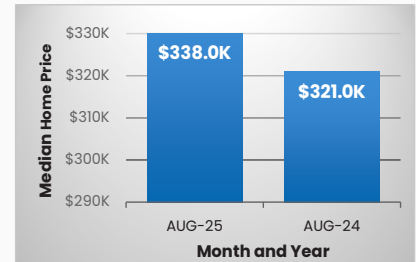
from last year



4.9%



MEDIAN HOME PRICE



August 2025
\$338,000

August 2024
\$321,000

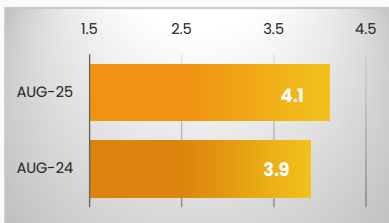
from last year



5.3%



MONTHS OF INVENTORY



August 2025
4.1

August 2024
3.9

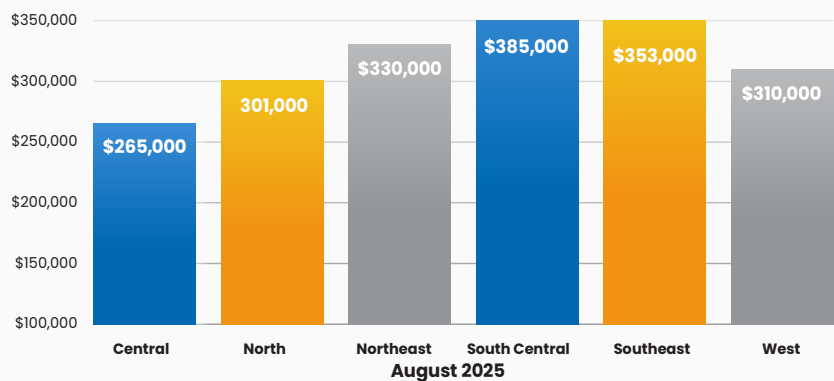
from last year



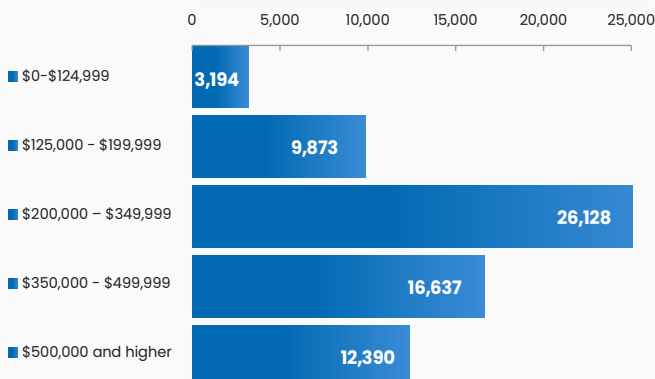
5.1%



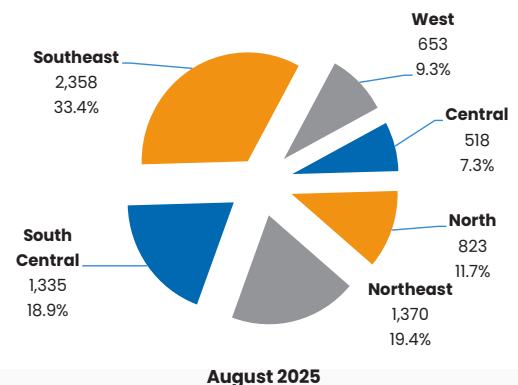
MEDIAN PRICES BY REGION



HOMES SOLD BY PRICE RANGE IN PAST 12 MONTHS



HOME SALES BY REGION



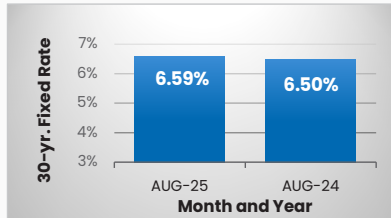
August 2025 Wisconsin Real Estate Report

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MORTGAGE INTEREST RATES*



August 2025

6.59%

August 2024

6.50%

from last year



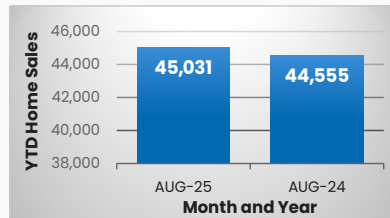
9

basis points

* Data based on Freddie Mac 30-year fixed mortgage rates.



YEAR-TO-DATE HOME SALES



Year to Date 2025

45,031

Year to Date 2024

44,555

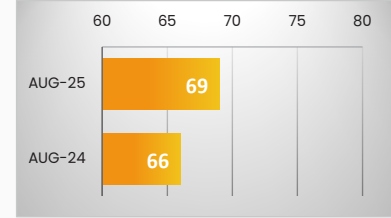
from last year



1.1%



AVERAGE DAYS ON MARKET



August 2025

69

August 2024

66

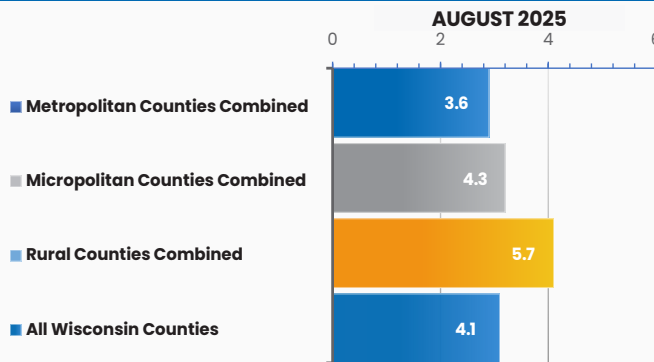
from last year



4.5%



MONTHS OF INVENTORY BY URBAN CLASSIFICATION



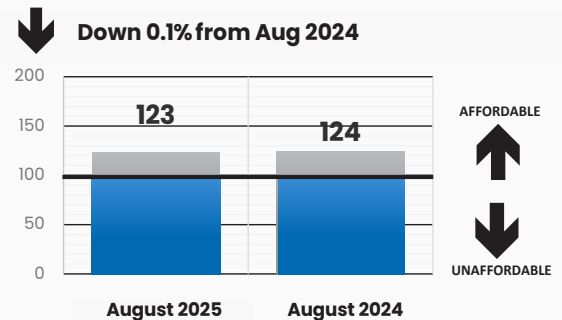
Metropolitan counties include: Brown, Calumet, Chippewa, Columbia, Dane, Douglas, Eau Claire, Fond du Lac, Green, Iowa, Kenosha, Kewaunee, La Crosse, Lincoln, Marathon, Milwaukee, Oconto, Ozaukee, Outagamie, Pierce, Racine, Rock, Sheboygan, St. Croix, Washington, Waukesha and Winnebago.

Micropolitan counties include: Dodge, Dunn, Florence, Grant, Jefferson, Manitowoc, Marinette, Menominee, Portage, Sauk, Shawano, Walworth and Wood.

Rural counties include: Adams, Ashland, Barron, Bayfield, Buffalo, Burnett, Clark, Crawford, Door, Forest, Green Lake, Iron, Jackson, Juneau, Lafayette, Langlade, Marquette, Monroe, Oneida, Pepin, Polk, Price, Rusk, Richland, Sawyer, Taylor, Trempealeau, Vernon, Vilas, Washburn, Waupaca and Waushara.



HOUSING AFFORDABILITY INDEX



Down 0.1% from Aug 2024

200

150

100

50

0

August 2025

August 2024

AFFORDABLE



UNAFFORDABLE



This index shows the portion of the median-priced home that a qualified buyer with median family income can afford to buy, assuming 20% down and the remaining balance financed with a 30-year fixed mortgage at current rates. A value of 100 means a buyer with median income has enough to qualify for a mortgage on the median-priced home.

August 2025 Wisconsin Real Estate Report

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Region	County	Median Price			Sales			Months Inventory			Avg Days On Market		
		8/2025	8/2024	% Change	8/2025	8/2024	% Change	8/2025	8/2024	% Change	8/2025	8/2024	% Change
Central	Adams	279,900	251,000	+11.5%	51	58	-12.1%	6.9	5.0	+38.0%	93	66	+40.9%
	Clark	235,000	194,000	+21.1%	25	27	-7.4%	5.5	4.9	+12.2%	94	71	+32.4%
	Juneau	239,000	245,000	-2.4%	56	33	+69.7%	6.4	5.6	+14.3%	77	102	-24.5%
	Marathon	279,450	259,000	+7.9%	126	151	-16.6%	3.7	3.7	0.0%	62	62	0.0%
	Marquette	300,000	258,000	+16.3%	34	29	+17.2%	4.8	6.0	-20.0%	68	94	-27.7%
	Portage	340,000	278,950	+21.9%	73	66	+10.6%	4.1	3.8	+7.9%	59	68	-13.2%
	Waushara	290,000	287,500	+0.9%	45	35	+28.6%	4.7	5.1	-7.8%	75	78	-3.8%
	Wood	209,500	232,500	-9.9%	108	93	+16.1%	3.5	3.3	+6.1%	64	69	-7.2%
Central Regional Total		265,000	250,088	+6.0%	518	492	+5.3%	4.6	4.2	+9.5%	70	71	-1.4%

Region	County	Median Price			Sales			Months Inventory			Avg Days On Market		
		8/2025	8/2024	% Change	8/2025	8/2024	% Change	8/2025	8/2024	% Change	8/2025	8/2024	% Change
North	Ashland	169,550	175,000	-3.1%	28	19	+47.4%	8.8	6.8	+29.4%	92	137	-32.8%
	Barron	310,000	269,950	+14.8%	119	116	+2.6%	4.6	4.8	-4.2%	79	70	+12.9%
	Bayfield	310,000	341,000	-9.1%	41	19	+115.8%	7.7	8.6	-10.5%	92	97	-5.2%
	Burnett	305,000	302,500	+0.8%	53	42	+26.2%	5.5	5.6	-1.8%	83	47	+76.6%
	Douglas	247,500	242,000	+2.3%	47	61	-23.0%	5.7	4.4	+29.5%	63	63	0.0%
	Florence	NA	NA	NA	1	1	0.0%	5.0	6.9	-27.5%	52	83	-37.3%
	Forest	260,000	291,000	-10.7%	23	26	-11.5%	10.8	4.9	+120.4%	65	105	-38.1%
	Iron	462,500	321,000	+44.1%	12	11	+9.1%	6.9	6.0	+15.0%	77	64	+20.3%
	Langlade	207,000	190,000	+8.9%	34	39	-12.8%	4.2	4.5	-6.7%	80	55	+45.5%
	Lincoln	265,000	280,000	-5.4%	43	35	+22.9%	4.7	4.2	+11.9%	95	102	-6.9%
	Oneida	357,550	386,404	-7.5%	102	84	+21.4%	6.0	4.8	+25.0%	74	80	-7.5%
	Polk	312,000	320,000	-2.5%	77	65	+18.5%	5.0	5.2	-3.8%	90	64	+40.6%
	Price	220,000	259,500	-15.2%	37	35	+5.7%	6.9	6.6	+4.5%	93	78	+19.2%
	Rusk	201,000	260,000	-22.7%	24	13	+84.6%	5.7	5.4	+5.6%	74	89	-16.9%
	Sawyer	430,000	420,500	+2.3%	67	38	+76.3%	7.4	6.2	+19.4%	106	85	+24.7%
	Taylor	200,000	175,000	+14.3%	13	23	-43.5%	6.2	5.8	+6.9%	114	95	+20.0%
	Vilas	399,000	399,000	0.0%	71	75	-5.3%	7.0	6.1	+14.8%	85	73	+16.4%
	Washburn	300,000	277,500	+8.1%	31	40	-22.5%	6.3	6.7	-6.0%	141	72	+95.8%
North Regional Total		301,000	300,000	+0.3%	823	742	+10.9%	5.9	5.5	+7.3%	86	76	+13.2%

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Region	County	Median Price			Sales			Months Inventory			Avg Days On Market		
		8/2025	8/2024	% Change	8/2025	8/2024	% Change	8/2025	8/2024	% Change	8/2025	8/2024	% Change
Northeast	Brown	375,000	330,000	+13.6%	315	282	+11.7%	3.9	3.5	+11.4%	62	59	+5.1%
	Calumet	392,500	369,950	+6.1%	70	50	+40.0%	3.7	4.3	-14.0%	72	74	-2.7%
	Door	430,000	392,950	+9.4%	77	88	-12.5%	7.7	10.9	-29.4%	110	104	+5.8%
	Fond du Lac	300,000	260,000	+15.4%	127	109	+16.5%	4.0	3.8	+5.3%	59	54	+9.3%
	Green Lake	350,000	350,000	0.0%	25	29	-13.8%	5.8	3.4	+70.6%	94	80	+17.5%
	Kewaunee	260,000	221,000	+17.6%	27	18	+50.0%	3.8	4.9	-22.4%	60	62	-3.2%
	Manitowoc	257,400	225,000	+14.4%	80	89	-10.1%	3.4	3.1	+9.7%	66	71	-7.0%
	Marinette	243,900	195,000	+25.1%	64	63	+1.6%	6.5	6.1	+6.6%	60	69	-13.0%
	Menominee	NA	NA	NA	5	2	+150.0%	5.1	3.1	+64.5%	104	67	+55.2%
	Oconto	337,000	269,500	+25.0%	67	51	+31.4%	4.8	4.4	+9.1%	70	68	+2.9%
	Outagamie	348,000	328,000	+6.1%	229	208	+10.1%	3.4	3.3	+3.0%	70	61	+14.8%
	Shawano	255,000	207,500	+22.9%	39	34	+14.7%	4.3	4.6	-6.5%	75	62	+21.0%
	Waupaca	300,000	242,500	+23.7%	67	48	+39.6%	3.9	3.9	0.0%	74	63	+17.5%
	Winnebago	305,000	276,700	+10.2%	178	210	-15.2%	3.5	3.0	+16.7%	57	64	-10.9%
	Northeast Regional Total	330,000	290,000	+13.8%	1,370	1,281	+6.9%	4.1	4.0	+2.5%	68	66	+3.0%
Region	County	Median Price			Sales			Months Inventory			Avg Days On Market		
		8/2025	8/2024	% Change	8/2025	8/2024	% Change	8/2025	8/2024	% Change	8/2025	8/2024	% Change
South Central	Columbia	345,000	344,000	+0.3%	68	70	-2.9%	5.3	4.9	+8.2%	101	73	+38.4%
	Crawford	220,000	255,000	-13.7%	15	21	-28.6%	4.6	3.8	+21.1%	66	101	-34.7%
	Dane	460,000	442,000	+4.1%	645	667	-3.3%	4.0	3.9	+2.6%	79	72	+9.7%
	Dodge	304,450	290,000	+5.0%	86	83	+3.6%	3.2	3.8	-15.8%	68	71	-4.2%
	Grant	213,000	200,000	+6.5%	46	34	+35.3%	4.7	4.8	-2.1%	76	80	-5.0%
	Green	289,900	357,500	-18.9%	35	40	-12.5%	5.3	4.7	+12.8%	64	69	-7.2%
	Iowa	279,000	236,000	+18.2%	19	27	-29.6%	5.7	6.3	-9.5%	74	79	-6.3%
	Jefferson	355,000	325,000	+9.2%	96	102	-5.9%	3.1	3.2	-3.1%	58	62	-6.5%
	Lafayette	244,950	NA	NA	18	7	+157.1%	4.6	4.4	+4.5%	67	52	+28.8%
	Richland	291,000	225,000	+29.3%	19	13	+46.2%	4.5	5.3	-15.1%	111	117	-5.1%
	Rock	300,000	272,000	+10.3%	199	226	-11.9%	3.8	3.5	+8.6%	70	61	+14.8%
	Sauk	292,500	307,000	-4.7%	89	81	+9.9%	5.0	4.9	+2.0%	80	76	+5.3%
	South Central Regional Total	385,000	370,000	+4.1%	1,335	1,371	-2.6%	4.1	4.0	+2.5%	76	71	+7.0%

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Region	County	Median Price			Sales			Months Inventory			Avg Days On Market		
		8/2025	8/2024	% Change	8/2025	8/2024	% Change	8/2025	8/2024	% Change	8/2025	8/2024	% Change
Southeast	Kenosha	320,000	285,000	+12.3%	163	175	-6.9%	3.0	2.7	+11.1%	53	50	+6.0%
	Milwaukee	287,500	265,000	+8.5%	845	896	-5.7%	3.2	2.8	+14.3%	51	49	+4.1%
	Ozaukee	491,950	450,500	+9.2%	92	120	-23.3%	3.3	3.6	-8.3%	76	73	+4.1%
	Racine	309,000	279,950	+10.4%	247	240	+2.9%	3.1	3.2	-3.1%	51	54	-5.6%
	Sheboygan	319,950	284,000	+12.7%	130	117	+11.1%	3.3	3.6	-8.3%	61	63	-3.2%
	Walworth	421,000	385,500	+9.2%	167	170	-1.8%	5.3	5.1	+3.9%	88	88	0.0%
	Washington	398,000	400,000	-0.5%	193	159	+21.4%	3.7	3.8	-2.6%	61	70	-12.9%
	Waukesha	492,500	491,450	+0.2%	521	506	+3.0%	3.1	3.2	-3.1%	57	58	-1.7%
	Southeast Regional Total	353,000	335,000	+5.4%	2,358	2,383	-1.0%	3.4	3.2	+6.3%	57	58	-1.7%
Region	County	Median Price			Sales			Months Inventory			Avg Days On Market		
		8/2025	8/2024	% Change	8/2025	8/2024	% Change	8/2025	8/2024	% Change	8/2025	8/2024	% Change
West	Buffalo	249,700	261,200	-4.4%	12	13	-7.7%	7.0	4.2	+66.7%	312	65	+380.0%
	Chippewa	270,000	322,000	-16.1%	69	73	-5.5%	4.4	4.6	-4.3%	83	83	0.0%
	Dunn	277,000	295,000	-6.1%	55	62	-11.3%	4.9	4.0	+22.5%	84	81	+3.7%
	Eau Claire	307,500	305,000	+0.8%	122	141	-13.5%	3.6	4.6	-21.7%	79	63	+25.4%
	Jackson	260,000	255,000	+2.0%	22	26	-15.4%	3.7	5.1	-27.5%	79	61	+29.5%
	La Crosse	310,150	315,500	-1.7%	128	138	-7.2%	3.2	3.1	+3.2%	56	56	0.0%
	Monroe	303,000	215,750	+40.4%	56	46	+21.7%	6.0	4.5	+33.3%	84	84	0.0%
	Pepin	NA	NA	NA	8	9	-11.1%	2.8	5.2	-46.2%	82	85	-3.5%
	Pierce	307,500	325,000	-5.4%	30	21	+42.9%	4.5	4.4	+2.3%	52	61	-14.8%
	St. Croix	389,900	395,000	-1.3%	106	82	+29.3%	5.1	4.0	+27.5%	85	71	+19.7%
	Trempealeau	266,000	292,000	-8.9%	19	28	-32.1%	4.9	4.1	+19.5%	77	73	+5.5%
	Vernon	328,000	269,500	+21.7%	26	24	+8.3%	4.8	5.6	-14.3%	98	73	+34.2%
	West Regional Total	310,000	314,900	-1.6%	653	663	-1.5%	4.3	4.2	+2.4%	81	69	+17.4%



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Statewide Median Price

8/2025	8/2024	% Change
338,000	321,000	+5.3%

Statewide Sales

8/2025	8/2024	% Change
7,057	6,932	+1.8%

Statewide Avg Days On Market

8/2025	8/2024	% Change
69	66	+4.5%

Statewide Months Inventory

8/2025	8/2024	% Change
4.1	3.9	+5.1%

Statewide New Listings

8/2025	8/2024	% Change
8,045	8,566	-6.1%

Statewide Total Listings

8/2025	8/2024	% Change
23,108	22,020	+4.9%

Price Range Stats

Listing Price Range	Current Properties For Sale	Avg Days On Market (sold listings)	Number of Sales in Prev 12 months	Total Sales in Prev 12 Months	Months Inventory
\$0 - \$124,999	1,107	289	3,194	286,478,538	4.2
\$125,000 - \$199,999	2,705	190	9,873	1,666,973,336	3.3
\$200,000 - \$349,999	7,049	137	26,128	7,218,783,740	3.2
\$350,000 - \$499,999	5,712	131	16,637	6,978,584,703	4.1
\$500,000+	6,530	130	12,390	9,591,122,464	6.3

Months of Inventory by Broad Urban-Rural Classification

Category	August 2025	August 2024
Metropolitan Counties Combined	3.6	3.5
Micropolitan Counties Combined	4.3	4.2
Rural Counties Combined	5.7	5.3
State Total	4.1	3.9

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Region	County	YTD Median Price			YTD Sales		
		Through 8/2025	Through 8/2024	% Change	Through 8/2025	Through 8/2024	% Change
Central	Adams	252,375	230,000	+9.7%	337	376	-10.4%
	Clark	199,900	170,000	+17.6%	178	180	-1.1%
	Juneau	235,000	225,000	+4.4%	277	239	+15.9%
	Marathon	263,900	255,000	+3.5%	878	899	-2.3%
	Marquette	279,000	240,000	+16.3%	175	171	+2.3%
	Portage	315,000	280,000	+12.5%	411	419	-1.9%
	Waushara	283,000	267,650	+5.7%	207	210	-1.4%
	Wood	220,900	199,900	+10.5%	581	577	+0.7%
Central Regional Total		250,000	240,000	+4.2%	3,044	3,071	-0.9%

Region	County	YTD Median Price			YTD Sales		
		Through 8/2025	Through 8/2024	% Change	Through 8/2025	Through 8/2024	% Change
North	Ashland	170,000	195,000	-12.8%	135	155	-12.9%
	Barron	284,900	260,000	+9.6%	558	538	+3.7%
	Bayfield	340,000	297,500	+14.3%	176	160	+10.0%
	Burnett	335,000	305,000	+9.8%	287	244	+17.6%
	Douglas	235,000	227,000	+3.5%	336	337	-0.3%
	Florence	213,000	148,900	+43.0%	17	13	+30.8%
	Forest	282,450	235,000	+20.2%	84	104	-19.2%
	Iron	315,000	297,500	+5.9%	58	68	-14.7%
	Langlade	190,000	182,000	+4.4%	233	208	+12.0%
	Lincoln	211,000	216,000	-2.3%	299	286	+4.5%
	Oneida	364,325	334,800	+8.8%	436	414	+5.3%
	Polk	318,750	300,000	+6.3%	412	333	+23.7%
	Price	190,000	199,950	-5.0%	214	204	+4.9%
	Rusk	197,000	203,800	-3.3%	137	118	+16.1%
	Sawyer	327,450	350,000	-6.4%	270	237	+13.9%
	Taylor	220,000	200,000	+10.0%	118	134	-11.9%
	Vilas	422,000	404,500	+4.3%	315	334	-5.7%
	Washburn	290,500	276,500	+5.1%	210	207	+1.4%
North Regional Total		284,900	265,000	+7.5%	4,295	4,094	+4.9%

August 2025 Wisconsin Real Estate Report

Wisconsin Home Sales and Median Prices Increase in August

This page: Reflecting data for August 2025. State: WI. Type: Residential.

Region	County	YTD Median Price			YTD Sales		
		Through 8/2025	Through 8/2024	% Change	Through 8/2025	Through 8/2024	% Change
Northeast	Brown	350,000	330,000	+6.1%	1,837	1,885	-2.5%
	Calumet	370,000	355,000	+4.2%	398	339	+17.4%
	Door	447,000	429,900	+4.0%	443	447	-0.9%
	Fond du Lac	259,000	242,250	+6.9%	774	726	+6.6%
	Green Lake	268,000	254,000	+5.5%	172	192	-10.4%
	Kewaunee	257,500	284,000	-9.3%	168	134	+25.4%
	Manitowoc	230,000	215,000	+7.0%	616	589	+4.6%
	Marinette	212,500	181,000	+17.4%	323	345	-6.4%
	Menominee	585,000	519,000	+12.7%	23	20	+15.0%
	Oconto	299,900	260,000	+15.3%	297	321	-7.5%
	Outagamie	328,950	309,900	+6.1%	1,424	1,375	+3.6%
	Shawano	250,000	220,000	+13.6%	285	251	+13.5%
	Waupaca	270,000	233,750	+15.5%	373	362	+3.0%
	Winnebago	284,000	260,000	+9.2%	1,295	1,309	-1.1%
Northeast Regional Total		305,000	282,000	+8.2%	8,428	8,295	+1.6%

Region	County	YTD Median Price			YTD Sales		
		Through 8/2025	Through 8/2024	% Change	Through 8/2025	Through 8/2024	% Change
West	Buffalo	225,000	245,000	-8.2%	80	87	-8.0%
	Chippewa	300,000	317,950	-5.6%	480	440	+9.1%
	Dunn	300,000	275,000	+9.1%	330	333	-0.9%
	Eau Claire	305,000	315,900	-3.5%	842	810	+4.0%
	Jackson	218,000	212,500	+2.6%	150	135	+11.1%
	La Crosse	315,000	305,900	+3.0%	871	837	+4.1%
	Monroe	275,000	240,000	+14.6%	301	294	+2.4%
	Pepin	255,000	230,000	+10.9%	65	55	+18.2%
	Pierce	335,000	350,000	-4.3%	189	174	+8.6%
	St. Croix	383,000	385,500	-0.6%	600	545	+10.1%
	Trempealeau	249,900	240,000	+4.1%	178	212	-16.0%
	Vernon	273,000	240,000	+13.8%	179	145	+23.4%
West Regional Total		305,000	305,100	0.0%	4,265	4,067	+4.9%

August 2025 Wisconsin Real Estate Report

Wisconsin Home Sales and Median Prices Increase in August

This page: Reflecting data for August 2025. State: WI. Type: Residential.

Region	County	YTD Median Price			YTD Sales		
		Through 8/2025	Through 8/2024	% Change	Through 8/2025	Through 8/2024	% Change
South Central	Columbia	345,000	315,700	+9.3%	443	422	+5.0%
	Crawford	226,513	216,000	+4.9%	114	118	-3.4%
	Dane	454,900	449,900	+1.1%	4,494	4,528	-0.8%
	Dodge	286,367	278,499	+2.8%	618	584	+5.8%
	Grant	205,000	200,000	+2.5%	269	264	+1.9%
	Green	281,500	277,500	+1.4%	248	259	-4.2%
	Iowa	325,000	291,400	+11.5%	151	134	+12.7%
	Jefferson	340,000	330,000	+3.0%	734	667	+10.0%
	Lafayette	247,000	210,000	+17.6%	74	71	+4.2%
	Richland	270,000	225,000	+20.0%	99	95	+4.2%
	Rock	280,000	266,000	+5.3%	1,400	1,477	-5.2%
	Sauk	325,000	300,000	+8.3%	515	495	+4.0%
South Central Regional Total		383,000	365,000	+4.9%	9,159	9,114	+0.5%

Region	County	YTD Median Price			YTD Sales		
		Through 8/2025	Through 8/2024	% Change	Through 8/2025	Through 8/2024	% Change
Southeast	Kenosha	300,000	281,000	+6.8%	1,072	1,166	-8.1%
	Milwaukee	278,000	257,200	+8.1%	6,342	6,556	-3.3%
	Ozaukee	475,000	471,217	+0.8%	735	750	-2.0%
	Racine	290,000	265,000	+9.4%	1,523	1,520	+0.2%
	Sheboygan	298,000	275,000	+8.4%	787	765	+2.9%
	Walworth	387,500	370,000	+4.7%	992	988	+0.4%
	Washington	380,000	370,000	+2.7%	1,126	1,057	+6.5%
	Waukesha	495,000	461,000	+7.4%	3,263	3,112	+4.9%
Southeast Regional Total		340,000	319,800	+6.3%	15,840	15,914	-0.5%

YTD Statewide Median Price		
Through 8/2025	Through 8/2024	% Change
325,000	309,000	+5.2%

YTD Statewide Sales		
Through 8/2025	Through 8/2024	% Change
45,031	44,555	+1.1%

AUGUST 2025

WISCONSIN REAL ESTATE REPORT



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